

OBSERVATION REPORT

Project: **Strata Plan LMS 280 – Chateau Comox** **File No.** S18-558
1272 Comox Street **Report No.** 2
Vancouver, B.C. **Date:** May 14, 2019

Client: Strata Plan LMS 280 – Chateau Comox **Weather:** Rain, 12°C
c/o Southview Property Management
110 – 7580 River Road
Richmond, B.C.
V6X 1X6

Attention: Mr. Kevin Green kevingreen@telus.net
Chateau Comox Strata Council chateaucomox@gmail.com
Mr. Chris Clark dcclark333@gmail.com
Mr. Don Davidson dondavidson67@yahoo.ca

Contractor: Spectrum Painting Ltd.
Attention: Mr. Adam Racanelli adam@spectrumpaintingltd.com
Mr. Sam Zukanovic sam@spectrumpaintingltd.com

ITEM: Building Envelope Field Review

Item	Comment	Action By	Date Cleared	Cleared By
2.1	John Drinkwater, P.Eng. of Spratt Emanuel Engineering Ltd. (SEE) attended the above noted development on May 14, 2019 to review completed work on Drop No. 1 located on the north elevation. The following are the observations of the writer while on site (Photo No. 2.1).			
2.2	Application of Dulux Diamond exterior latex paint on the exterior walls is complete with no deficiencies noted. The two-coat application has achieved uniform colour and complete hiding of the base wall colour. As instructed, exterior vertical wall surfaces are semi-gloss and balcony soffits are flat sheen (Photos No. 2.2 to 2.6).			
2.3	The exterior paint has been cut in at the window frame and the existing caulking has been overcoated for uniform colour and appearance throughout (Photos No. 2.7 to 2.9).			
2.4	Balcony guardrails have been recoated with Devoe Devlac 1437 gloss enamel paint. Surface finish is smooth and uniform and full hiding of the original teal has been achieved. Work appears good (Photos No. 2.10 and 2.11).			
2.5	The flagpole will be recoated as part of upcoming Drop No. 2. The flagpole attachment to the building structure is done with a 2-part metal bracket. Spectrum Painting will need to provide white paint to coat the portion of the bracket which is attached to the building. This bracket typically has minor surface rust at edges and corners which should be prepared via light sanding prior to recoating (Photos No. 2.12 to 2.14).			

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- 2.6 The Contractor has prepared a sample board for Strata approval of the acrylic stucco product which will be used to refinish areas where the existing has debonded (Photo No. 2.15).

PREVIOUS ACTIONABLE ITEMS

Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusted steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		

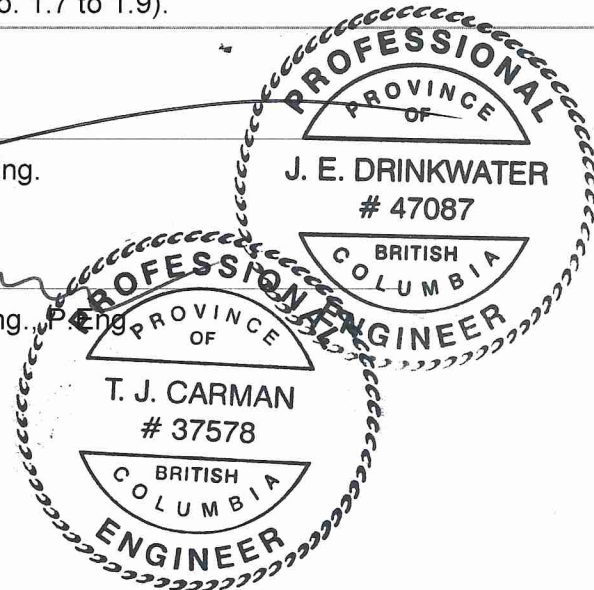
OBSERVER:

John Drinkwater, P.Eng.

REVIEWER:

Trevor Carman, M.Eng. P.Eng.

JD / ch



STRATA PLAN LMS 280 - CHATEAU COMOX
1272 COMOX STREET, VANCOUVER, B.C.
PHOTOGRAPHS TAKEN BY JOHN DRINKWATER, P.ENG.
ON MAY 14, 2019



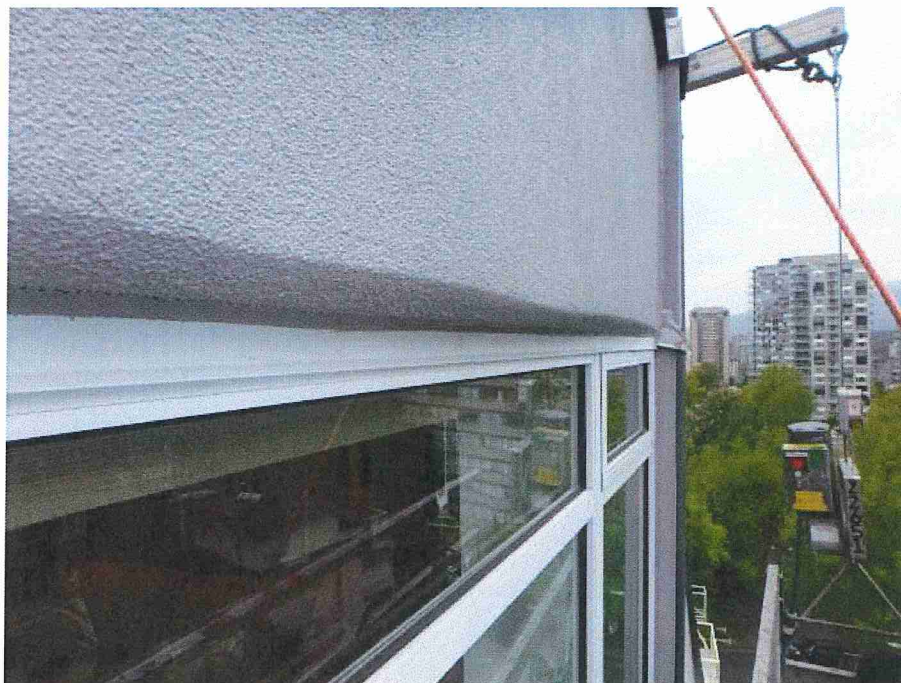
Photos No. 2.1 and 2.2



May 14, 2019



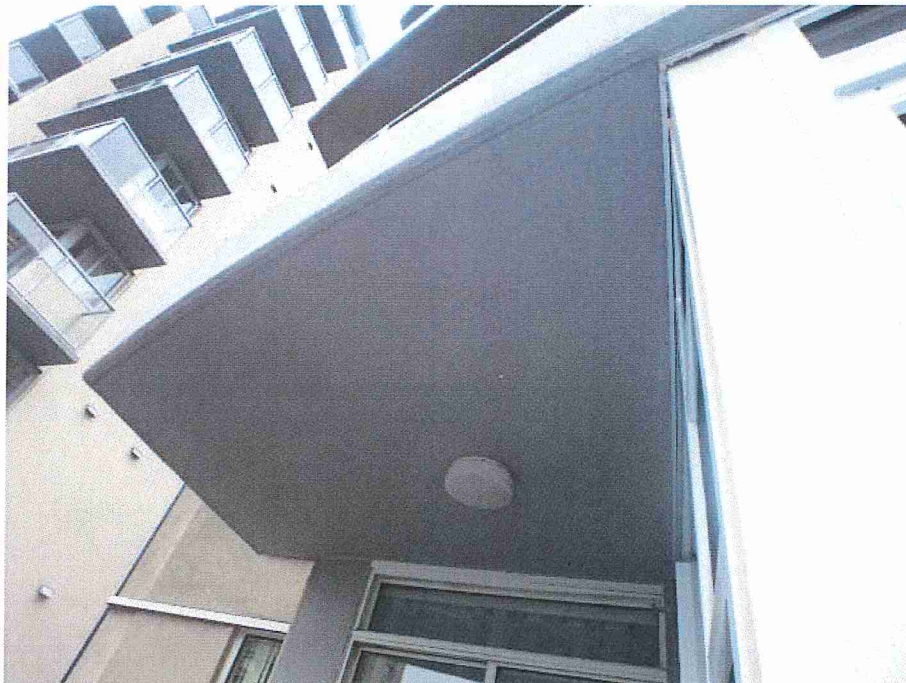
Photos No. 2.3 and 2.4



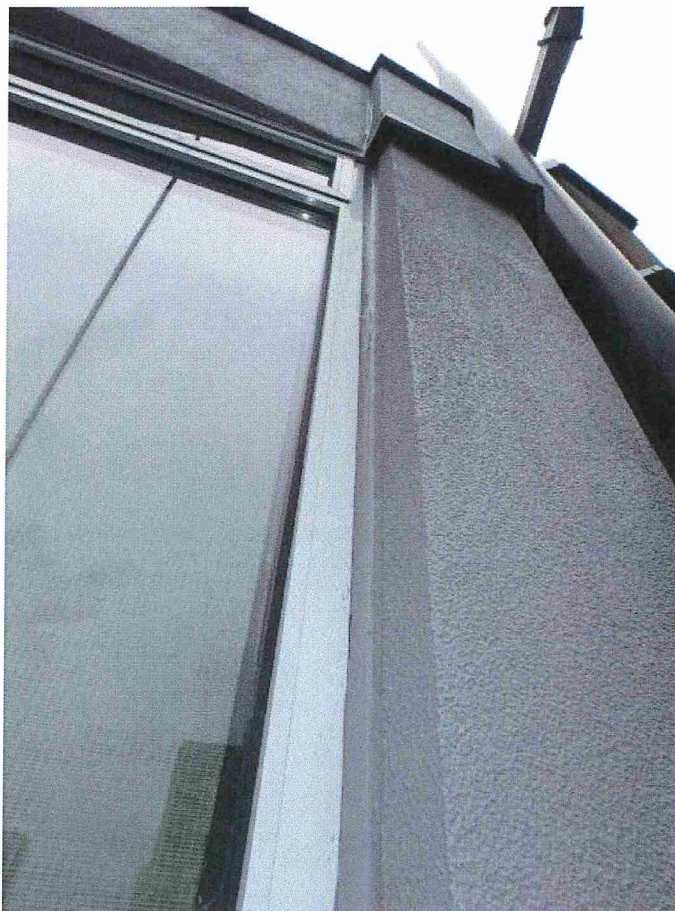
May 14, 2019



Photos No. 2.5 and 2.6



May 14, 2019

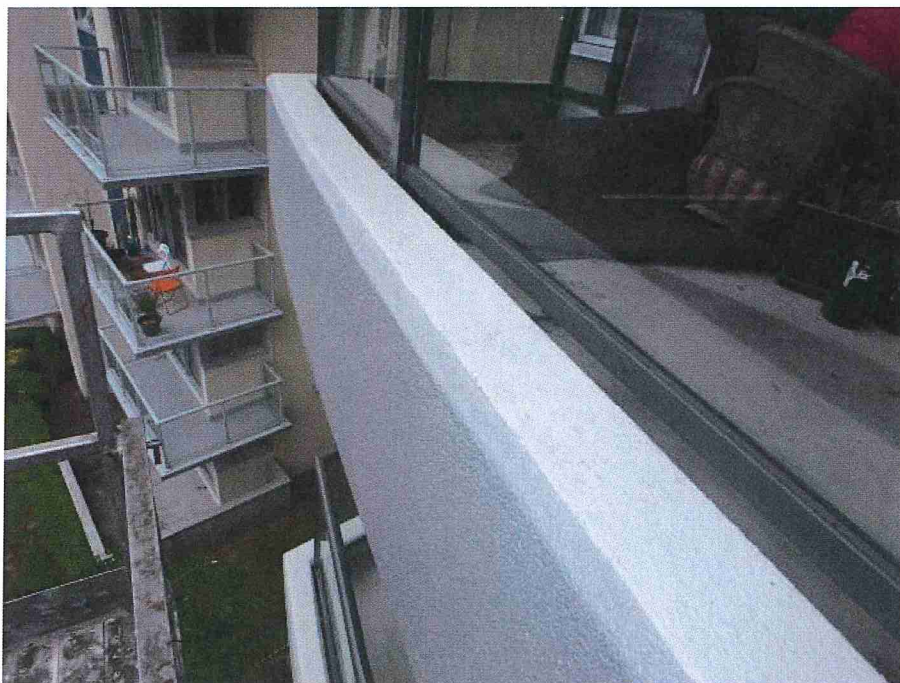


Photos No. 2.7 and 2.8

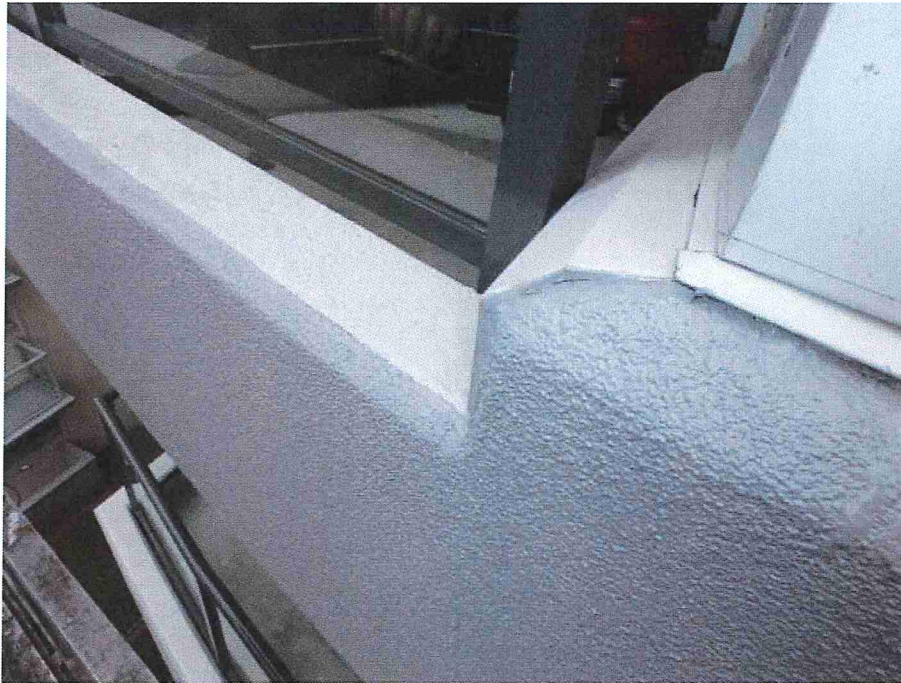
May 14, 2019



Photos No. 2.9 and 2.10



May 14, 2019



Photos No. 2.11 and 2.12



May 14, 2019



Photos No. 2.13 and 2.14

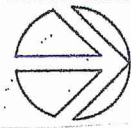


May 14, 2019

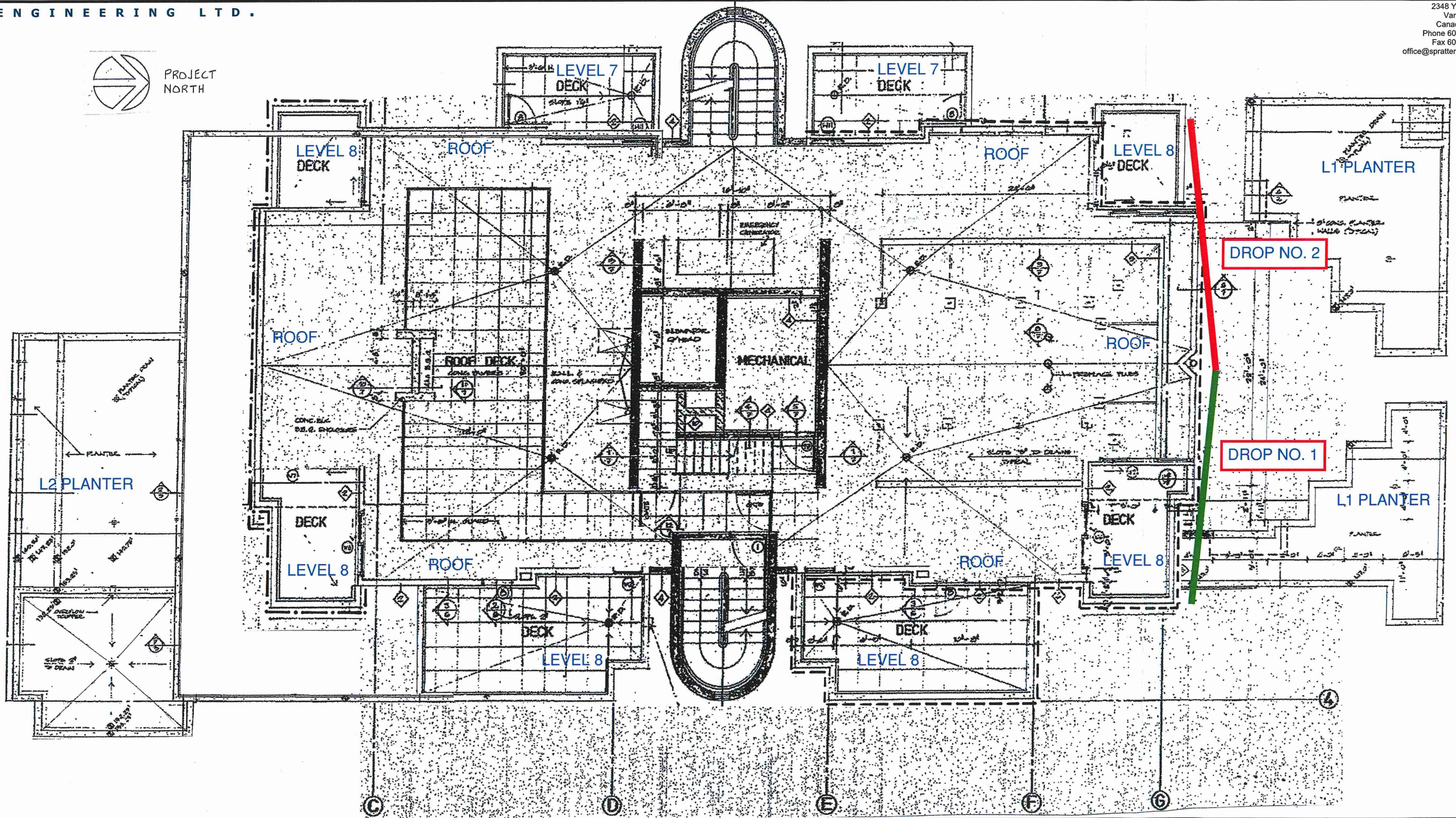


Photo No. 2.15

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PROJECT
NORTH



— Work in Progress
— Completed Work

STRATA PLAN LMS 280
1272 COMOX ST.,
VANCOUVER, B.C.

**BUILDING ENVELOPE MAINTENANCE
PROGRAM-2019**

BUILDING DROP PLAN

DES. J.D.	SCALE N.T.S.
DR. A.F.	S18-558-B1
DATE 5/9/2019	SHEET B1