

OBSERVATION REPORT

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Project: **Strata Plan LMS 280 – Chateau Comox** File No. S18-558
1272 Comox Street Report No. 4
Vancouver, B.C. Date: May 31, 2019

Client: Strata Plan LMS 280 – Chateau Comox Weather: Sun, 20°C
c/o Southview Property Management
110 – 7580 River Road
Richmond, B.C.
V6X 1X6

Attention: Mr. Kevin Green kevingreen@telus.net
Chateau Comox Strata Council chateaucomox@gmail.com
Mr. Chris Clark dcclark333@gmail.com
Mr. Don Davidson dondavidson67@yahoo.ca

Contractor: Spectrum Painting Ltd.
Attention: Mr. Adam Racanelli adam@spectrumpaintingltd.com
Mr. Sam Zukanovic sam@spectrumpaintingltd.com

ITEM: Building Envelope Field Review

Item	Comment	Action By	Date Cleared	Cleared By
4.1	The writer attended Chateau Comox on May 31, 2019 to meet with the representative from Spectrum Painting to investigate a problem with the existing caulking detail on the metal window frames. The following are the observations of the writer while on site.			
4.2	A caulking detail was inspected on a metal framed swing door on the ground floor off the amenity room. The existing caulking was applied to the stucco and frame as a bridge across the rainscreen cavity; however, the underlying peel and stick membrane was also caulked. Removal of existing caulking will likely damage the edge of the membrane, which must be preserved. The gap between the stucco and frame is approximately 1.5". SEE has instructed Spectrum Painting to cease removal of existing caulking to prevent damage (Photos No. 4.1 to 4.3).			
4.3	SEE discussed a metal flashing detail to replace the existing caulking; however, there is no way to mechanically fasten the flashing. The other solution is to use Dow Corning 123 Silicone Seal to bridge the gap. SEE requests Spectrum Painting produce a mock-up for further review.			

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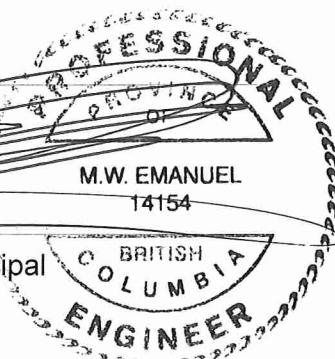
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PREVIOUS ACTIONABLE ITEMS

Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusted steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		

OBSERVER:


Allan Fan, Project Consultant

REVIEWER:
Mark W. Emanuel, P.Eng., Principal

M.W. EMANUEL
14154
PROFESSIONAL ENGINEER
OF BRITISH COLUMBIA

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STRATA PLAN LMS 280 - CHATEAU COMOX
1272 COMOX STREET, VANCOUVER, B.C.
PHOTOGRAPHS TAKEN BY ALLAN FAN, PROJECT CONSULTANT
ON MAY 31, 2019



Photos No. 4.1 and 4.2

May 31, 2019



Photo No. 4.3