

OBSERVATION REPORT

**Project:** **Strata Plan LMS 280 – Chateau Comox** File No. S18-558  
**1272 Comox Street** Report No. **6**  
**Vancouver, B.C.** Date: Jun 14, 2019

Client: Strata Plan LMS 280 – Chateau Comox Weather: Overcast, 17°C  
c/o Southview Property Management  
110 – 7580 River Road  
Richmond, B.C.  
V6X 1X6

Attention: Mr. Kevin Green kevingreen@telus.net  
Chateau Comox Strata Council chateaucomox@gmail.com  
Mr. Chris Clark dcclark333@gmail.com  
Mr. Don Davidson dondavidson67@yahoo.ca

Contractor: Spectrum Painting Ltd.  
Attention: Mr. Adam Racanelli adam@spectrumpaintingltd.com  
Mr. Sam Zukanovic sam@spectrumpaintingltd.com

**ITEM: Building Envelope Field Review**

Item	Comment	Action By	Date Cleared	Cleared By
6.1	John Drinkwater, P.Eng. of Spratt Emanuel Engineering Ltd. (SEE) attended the above noted development on June 14, 2019 to conduct a building envelope field review. The following are the observations of the writer.			
6.2	Drop No. 4: Total extra work on this drop includes 45' of new silicone 123 Tape, 1 sq.ft. of concrete spall repair, 18 sq.ft. of acrylic stucco patching, and T&M sheet metal repairs and flashing painting at the Unit No. 701 west deck.			
6.3	Unit No. 701: The owner provided access to his left deck, allowing review of the completed painting and caulking work at the exterior. As requested, Dow Corning 123 Tape has been installed jambed up the windows and doors. The right hand jamb up deck level window requires rework with 123 Tape as edges are not fully adhered (Photos No. 6.1 and 6.2).			

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- 6.4 Unit No. 701: Extra work at the west deck and at the Level 8 windows above includes six window jambs with 123 Tape at 5'6" each, and one door with 6' jambs (Photos No. 6.3 to 6.5).
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- 6.5 Unit No. 701: The roof deck parapet cap flashing and through-wall flashings have rust which should be recoated. SEE instructed Spectrum Painting to clean and repaint two through-wall flashings on the building's west elevation as well as the balcony parapet cap flashings. The corners of the through-wall flashings were originally constructed with soldered joints which have cracked. SEE instructed Spectrum Painting to repair the flashing by installing a back-caulked sheet metal repair secured with stainless steel rivets over the broken joints (Photos No. 6.6 to 6.8).
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- 6.6 Drop No. 3: A total of five north-facing windows were resealed at the jambs with new 123 Tape. Each jamb measures 6'6" long. Additionally, the ground floor amenity room was sealed in a similar manner, measuring 7'6" each jamb (Photo No. 6.9).
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- 6.7 Drops No. 3 and 4: SEE reviewed completed work on Drops No. 3 and 4 from the Drop No. 4 swing stage. Work is completed to a good standard (Photos No. 6.10 to 6.12).
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- 6.8 Drop No. 4: At the bottom of the barrel wall on the north face, there are three locations of exposed steel rebar of the concrete structure. At two locations on the wall face, SEE instructed the contractor to clean the steel to a bright metal finish, prime with a zinc rich primer then apply a patch of polyurethane sealant over and recoat with paint. The third spall located at the drip edge at the base of the barrel wall requires full concrete repair treatment. The concrete should be chipped away from the rusted steel to expose a minimum of 1" all sides. The steel should be cleaned to a bright finish and zinc rich primed, then new overhead concrete patching mortar shall be formed in place. Once secured, the concrete patch can be primed, new acrylic stucco finish laid overtop, and painted to match the walls (Photos No. 6.13 and 6.14). SP
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- 6.9 Approximately 18 sq.ft. of acrylic stucco repairs were done on the walls of the ground floor planters at the building entry. An additional 2 sq.ft. were done on Drop No. 2. Work is complete to a good standard with a close match to the existing finish (Photos No. 6.15 and 6.16).
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- 6.10 SEE has attached an extra work tracking sheet to this report. It will be updated and maintained as work is completed on the project.

**PREVIOUS ACTIONABLE ITEMS**

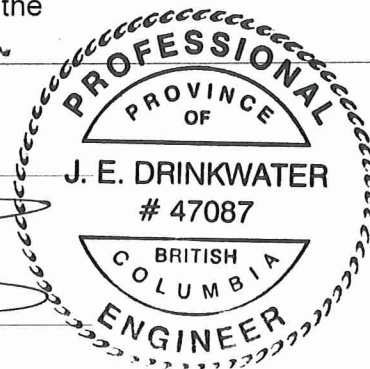
Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusty steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		

**OBSERVER:**

  
John Drinkwater, P.Eng.

**REVIEWER:**

  
Mark W. Emanuel, P.Eng., Principal



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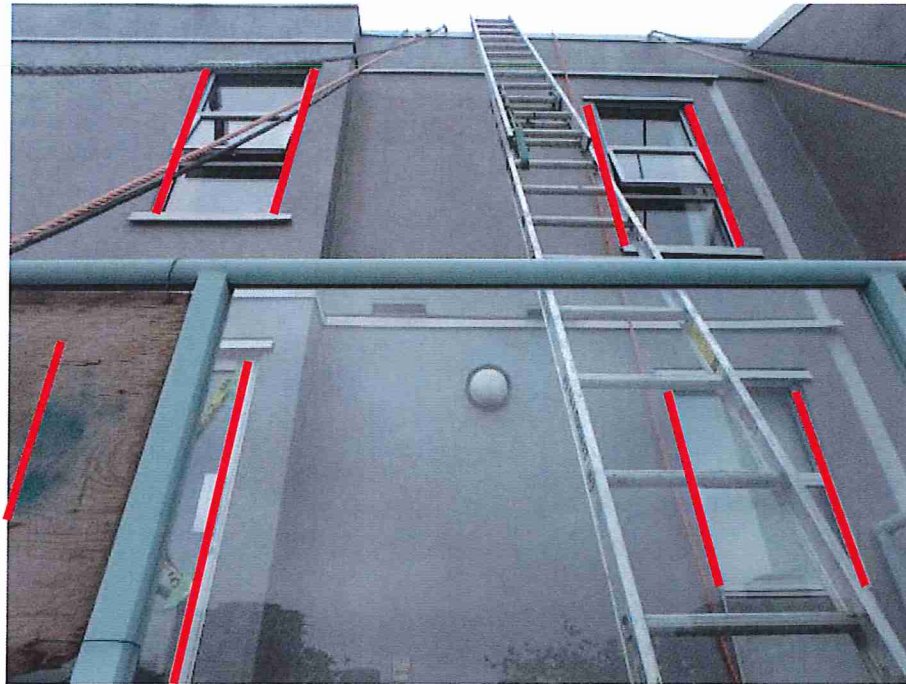
**STRATA PLAN LMS 280 - CHATEAU COMOX**  
**1272 COMOX STREET, VANCOUVER, B.C.**  
**PHOTOGRAPHS TAKEN BY JOHN DRINKWATER, P.ENG.**  
**ON JUNE 14, 2019**



**Photos No. 6.1 and 6.2**



June 14, 2019



Photos No. 6.3 and 6.4





June 14, 2019



**Photos No. 6.5 and 6.6**



June 14, 2019

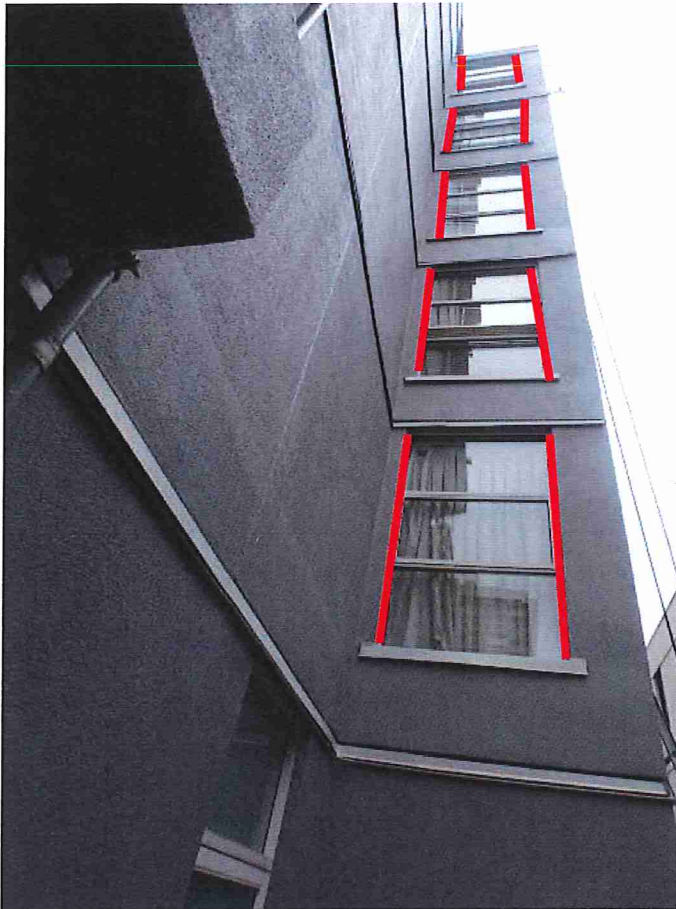


**Photos No. 6.7 and 6.8**





June 14, 2019



Photos No. 6.9 and 6.10



June 14, 2019



**Photos No. 6.11 and 6.12**



June 14, 2019



**Photos No. 6.13 and 6.14**





June 14, 2019



**Photos No. 6.15 and 6.16**



SPRATT EMANUEL ENGINEERING LTD.  
 Our File No.: S18-558  
 June 18, 2019

Strata Plan LMS 280 - Chateau Comox  
 1272 Comox Street, Vancouver, B.C.  
 Building Envelope Maintenance Project – 2019

### Summary of Work Completed at Unit Rates

Total of Progress Draw No.	Drop No. or Suite No.	Observation Report No.	Date Complete	Silicone 123 Tape (Ft.)	Rout and Caulk (Ft.)	Acrylic Stucco Patching (Sq. Ft.)	Concrete Spall Repair (Sq. Ft.)	T&M Repairs	Extra Painting
Items In Progress	Drop No. 1	1	Work In Process	0	0	0	0	1	0
	Unit 701	6	Work In Process	0	0	0	0	1	1
Total Items In Progress				0	0	0	0	2	1
Draw No. 2 - June, 2019	Drop No. 2	6	June 14, 2019	0	0	0	2	0	0
	Drop No. 3	6	June 14, 2019	80	0	0	0	0	0
	Planters	6	June 14, 2019	0	0	0	18	0	0
	Unit 701	6	June 14, 2019	45	0	0	0	0	0
Total Draw No. 2 - June, 2019				125	0	0	20	0	0
Grand Total				125	0	0	20	2	1