

OBSERVATION REPORT

Project: **Strata Plan LMS 280 – Chateau Comox** File No. S18-558
1272 Comox Street Report No. 8
Vancouver, B.C.

Client: Strata Plan LMS 280 – Chateau Comox Date: Jul 30, 2019
c/o Southview Property Management Weather: Overcast, 16°C
110 – 7580 River Road
Richmond, B.C. V6X 1X6

Attention: Mr. Kevin Green kevingreen@telus.net
Chateau Comox Strata Council chateaucomox@gmail.com
Mr. Chris Clark dcclark333@gmail.com
Mr. Don Davidson dondavidson67@yahoo.ca
Mr. Kevin Wice krw@krw.ca

Contractor: Spectrum Painting Ltd.
Attention: Mr. Adam Racanelli adam@spectrumpaintingltd.com
Mr. Sam Zukanovic sam@spectrumpaintingltd.com

ITEM: Building Envelope Field Review

Item	Comment	Action By	Date Cleared	Cleared By
8.1	John Drinkwater, P.Eng. of Spratt Emanuel Engineering Ltd. (SEE) attended the above noted development on July 30, 2019 to conduct a building envelope field review. The following are the observations of the writer while on site.			
8.2	Painting and caulking work is substantially complete on the west half of the south elevation. The Dow Corning AllGuard silicone elastomeric coating has been applied to the exterior wall surfaces with good finish observed. At the time of review, the swing stage set up was being moved to cover the east half of the elevation so access was not immediately available. Detailed review will be conducted after the new swing stage set up is complete (Photo No. 8.1).			
8.3	Work is continuing on the southwest corner balconies where new polyurethane traffic membrane is being installed. At the lower balconies, very good workmanship is observed. The membrane is applied to sufficient thickness and the broadcast sand is evenly distributed and back rolled into the top coat has required. Traffic membrane has been extended up the inside face of the parapet walls and onto the top surface of the parapet as requested (Photos No. 8.2 and 8.3).			

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- 8.4 At one balcony only, the polyurethane traffic membrane application showed signs of delamination – blisters and pock marks in the finished surface. SEE conducted a small cut test which revealed a significant issue with concrete dusting on the existing balcony slab. Additional cut tests were done which showed the concrete dusting issue to be wide spread on this balcony. Unfortunately, the newly applied membrane on the balcony horizontal surface must be peeled off to expose the bare concrete slab. At the perimeter edges, and any location where tenaciously adhered membrane is discovered, the surface of the remaining membrane should be lightly touched with a grinder to provide a feathered edge into the bare concrete. After removal, the entire concrete surface must be heavily power washed, possibly with multiple passes until the entire weak layer of concrete on the top surface of the slab has been removed. We recommend testing during power washing with a scraper or stiff bristle brush – any areas which produce muddy water must receive further power washing until scraping or rubbing the bare concrete surface produces no residue.
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- 8.5 After washing is complete, the deck must be allowed several days to dry. We recommend an adhesion test be performed on a small area of the deck, 6" wide by 12" long to confirm the surface prep procedures successfully removed all weak dusting concrete. In the test patch, embed scrim cloth within a standard application of membrane base coat and allow to dry. Please notify SEE in advance so that we can witness the pull off and confirm adhesion of the base coat is satisfactory.
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- 8.6 After successfully completing the adhesion test, new base coat membrane should be applied to the bare concrete areas, feathered into the existing membrane application. New top coat shall be applied to the entire horizontal surface of the deck. All locations of existing membrane must be prepared with a heavy solvent wipe of xylene to ensure a good bond with the new top coat.
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- 8.7 At the southwest ground floor deck, planter walls are painted and horizontal surfaces have been prepared with new polyurethane traffic membrane. Work appears very good. In multiple locations on the planter and building walls, the contractor has removed failed acrylic stucco and applied new with an excellent match to the existing texture (Photos No. 8.6 to 8.8).
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- 8.8 On the south elevation drop, numerous concrete repairs were required due to reinforcing steel with insufficient concrete cover. The steel began to rust resulting in spalling concrete. The contractor has been making repairs at the direction of SEE with their progress photos attached to this item (Photos No. 8.9 to 8.18).
- 8.9 On the west elevation at the side yard walkway the walls have been painted with good finish observed. Many rout and caulk repairs have been completed in the exterior concrete walls (Photo No. 8.19).

PREVIOUS ACTIONABLE ITEMS

Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusted steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		
6.8	Drop No. 4: At the bottom of the barrel wall on the north face, there are three locations of exposed steel rebar of the concrete structure. At two locations on the wall face, SEE instructed the contractor to clean the steel to a bright metal finish, prime with a zinc rich primer then apply a patch of polyurethane sealant over and recoat with paint. The third spall located at the drip edge at the base of the barrel wall requires full concrete repair treatment. The concrete should be chipped away from the rusted steel to expose a minimum of 1" all sides. The steel should be cleaned to a bright finish and zinc rich primed, then new overhead concrete patching mortar shall be formed in place. Once secured, the concrete patch can be primed, new acrylic stucco finish laid overtop, and painted to match the walls (Photos No. 6.13 and 6.14).	SP		
7.5	Drop No. 5, Level 4: Spalled concrete and rusted steel reinforcement on the balcony parapet require repair by chipping and patching (Photo No. 7.7).	SP		

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- 7.6 Drop No. 5, Level 5: There are two instances of rusted reinforcing steel on the west face of the balcony. The steel reinforcement on the parapet upstand must be exposed with 1" clear space all around by chipping to remove the surrounding concrete. Concrete patching mortar followed by reapplication of new acrylic stucco finish shall follow. At the balcony soffit, the spalling due to rebar ends shall be repaired by patching, applying new acrylic finish, and repainting (Photos No. 7.8 to 7.10). SP

OBSERVER:

John Drinkwater, P.Eng

REVIEWER:

Mark W. Emanuel, P.Eng., Principal



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STRATA PLAN LMS 280 - CHATEAU COMOX
1272 COMOX STREET, VANCOUVER, B.C.
PHOTOGRAPHS TAKEN BY JOHN DRINKWATER, P.ENG.
AND THE CONTRACTOR
ON JULY 30, 2019



Photos No. 8.1 and 8.2



July 30, 2019



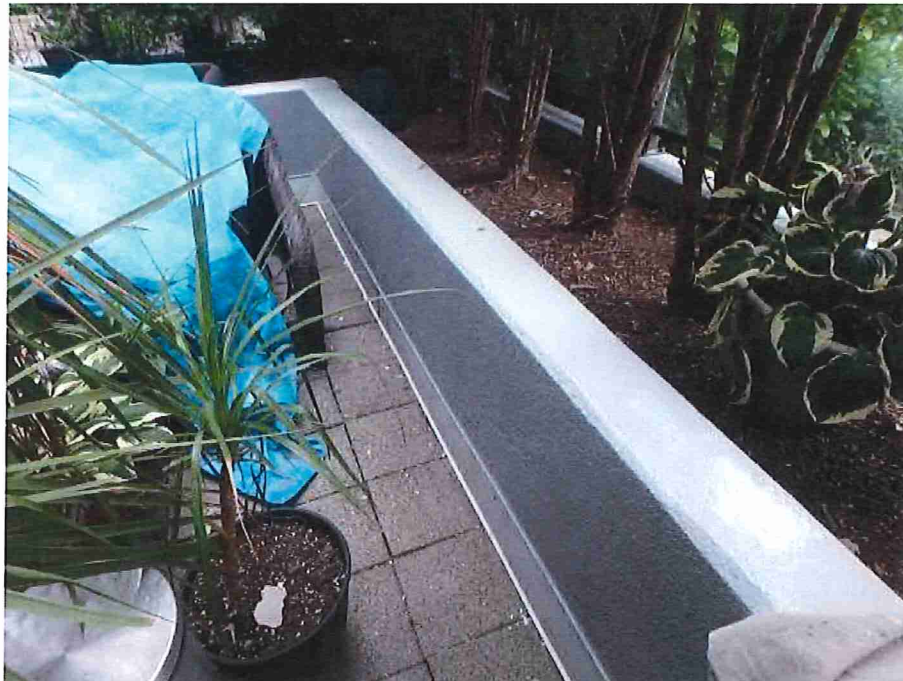
Photos No. 8.3 and 8.4



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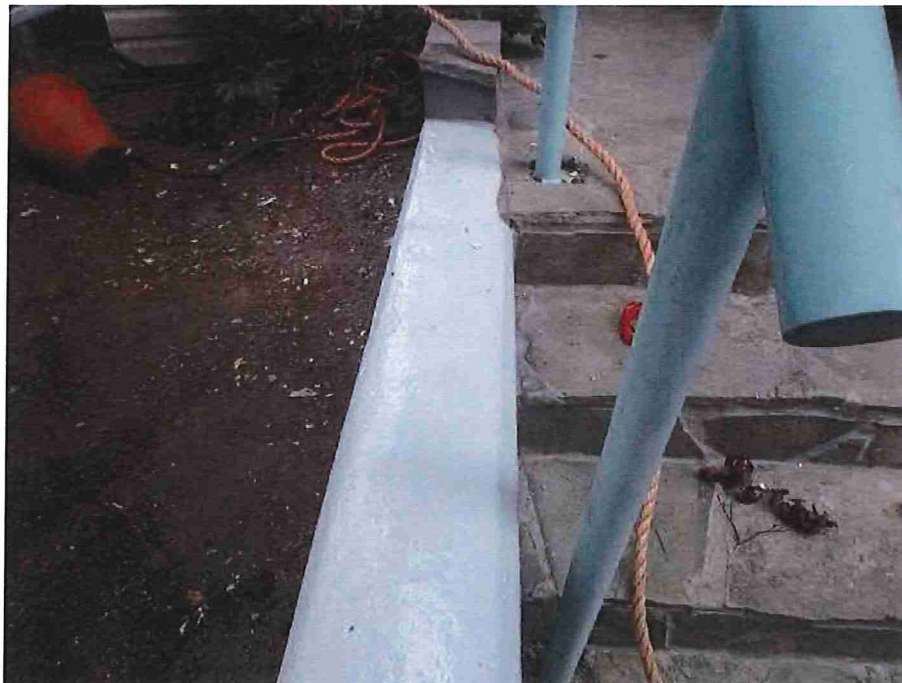
Photos No. 8.5 and 8.6



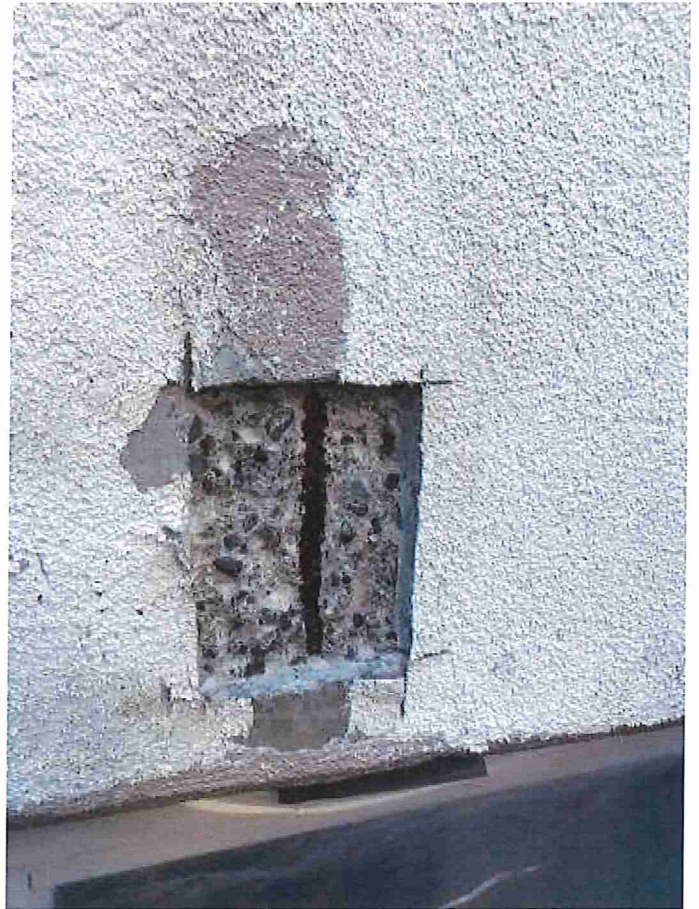
July 30, 2019



Photos No. 8.7 and 8.8



July 30, 2019



Photos No. 8.9 and 8.10

July 30, 2019



Photos No. 8.11 and 8.12

July 30, 2019



Photos No. 8.13 and 8.14

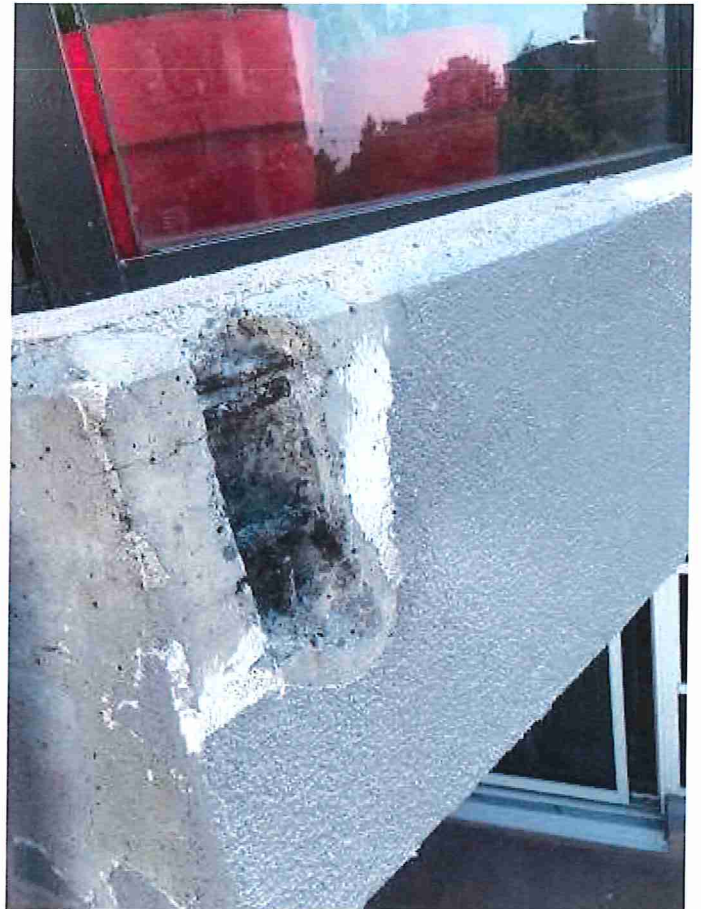
July 30, 2019



Photos No. 8.15 and 8.16



July 30, 2019



Photos No. 8.17 and 8.18

July 30, 2019



Photo No. 8.19