

OBSERVATION REPORT

Project: Strata Plan LMS 280 – Chateau Comox
1272 Comox Street
Vancouver, B.C.

File No. S18-558

Report No. 10

Date: Aug 15, 2019

Client: Strata Plan LMS 280 – Chateau Comox
c/o Southview Property Management
110 – 7580 River Road
Richmond, B.C. V6X 1X6

Weather: Sun, 21°C

Attention: Mr. Kevin Green
Chateau Comox Strata Council
Mr. Chris Clark
Mr. Don Davidson
Mr. Kevin Wice

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dcclark333@gmail.com
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Contractor: Spectrum Painting Ltd.

Attention: Mr. Adam Racanelli
Mr. Sam Zukanovic

adam@spectrumpaintingltd.com
sam@spectrumpaintingltd.com

ITEM: Building Envelope Field Review

Item	Comment	Action By	Date Cleared	Cleared By
10.1	John Drinkwater, P.Eng. of Spratt Emanuel Engineering Ltd. (SEE) attended the above noted development on August 15, 2019 to conduct a building envelope field review. The following are the observations of the writer while on site.			
10.2	Painting and caulking work is nearly complete on the south elevation. The contractor has installed Dow Corning 123 Tape at all horizontal stucco expansion joints as required. The silicone tape spans across the vulnerable metal stucco expansion joint which had been observed to be rusty and failing on our condition review from last year. The lower edge of the silicone tape is provided with intermittent weeps which will allow any water which potentially gets behind to drain out. The tape is well installed over the uneven surface with no excessive bulging or wrinkling observed (Photos No. 10.1 to 10.3).			
10.3	At the top of the drop, there are three fireplace vents, two of which are installed in original face sealed construction. Silicone 123 Tape is required at the head and jambs of the lower two vents (Photo No. 10.4).			
10.4	At the southeast corner of the drop, caulking replacement is also required at the vertical joint between the window frame and corner flashing. The existing caulking must be removed and replaced with new. SEE requested the contractor apply sufficient pressure and caulking so that the material is injected between the mating surfaces to provide strong adhesive bond (Photo No. 10.5).			

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- 10.5 At Suite No. 702, acrylic stucco patching is required on the interior face and top horizontal surface of the balcony parapet (Photos No. 10.6 and 10.7).
- 10.6 At Suite No. 602, the membrane base coat has been reapplied to the balcony with good workmanship observed (Photo No. 10.8).
- 10.7 At the time of review, painting work was underway at the exterior walls facing the alley. Several locations with peeling acrylic finish have been uncovered and are in the process of being repaired. Typical rebar ends will be ground clean, primed, and covered with caulking prior to refinishing. Work in progress is good (Photos No. 10.9 to 10.11).

PREVIOUS ACTIONABLE ITEMS

Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusted steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		
6.8	Drop No. 4: At the bottom of the barrel wall on the north face, there are three locations of exposed steel rebar of the concrete structure. At two locations on the wall face, SEE instructed the contractor to clean the steel to a bright metal finish, prime with a zinc rich primer then apply a patch of polyurethane sealant over and recoat with paint. The third spall located at the drip edge at the base of the barrel wall requires full concrete repair treatment. The concrete should be chipped away from the rusted steel to expose a minimum of 1" all sides. The steel should be cleaned to a bright finish and zinc rich primed, then new overhead concrete patching mortar shall be formed in place. Once secured, the concrete patch can be primed, new acrylic stucco finish laid overtop, and painted to match the walls (Photos No. 6.13 and 6.14).	SP		
7.5	Drop No. 5, Level 4: Spalled concrete and rusted steel reinforcement on the balcony parapet require repair by chipping and patching (Photo No. 7.7).	SP		

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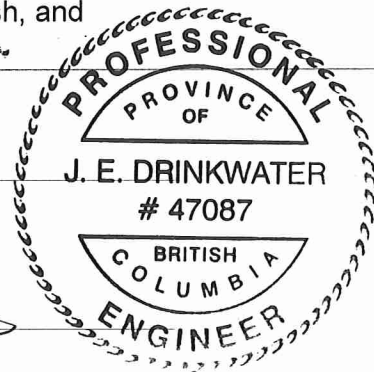
- 7.6 Drop No. 5, Level 5: There are two instances of rusted reinforcing steel on the west face of the balcony. The steel reinforcement on the parapet upstand must be exposed with 1" clear space all around by chipping to remove the surrounding concrete. Concrete patching mortar followed by reapplication of new acrylic stucco finish shall follow. At the balcony soffit, the spalling due to rebar ends shall be repaired by patching, applying new acrylic finish, and repainting (Photos No. 7.8 to 7.10). SP

OBSERVER:


John Drinkwater, P.Eng.

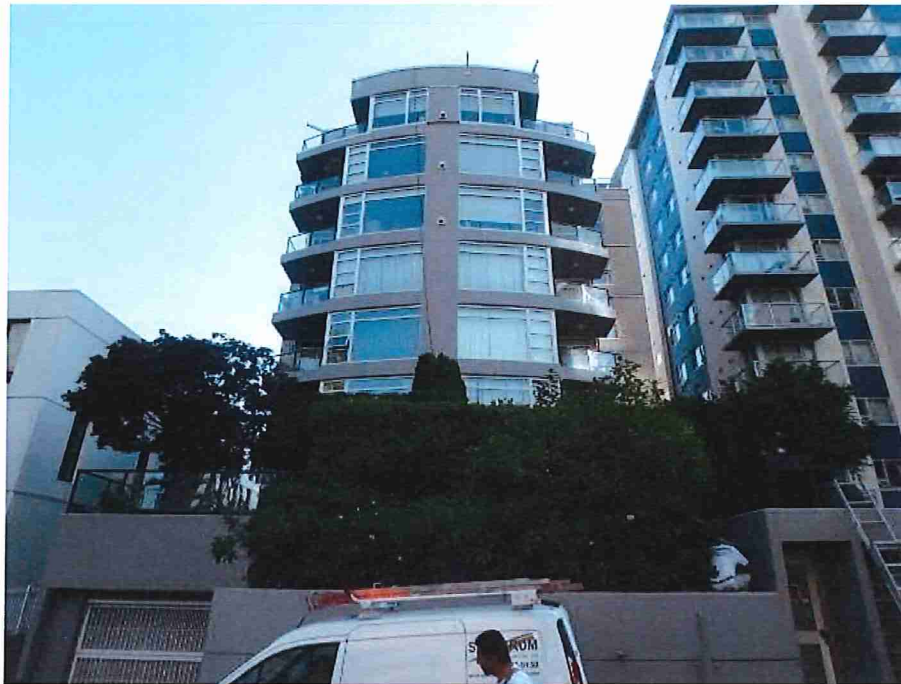
REVIEWER:


Mark W. Emanuel, P.Eng., Principal

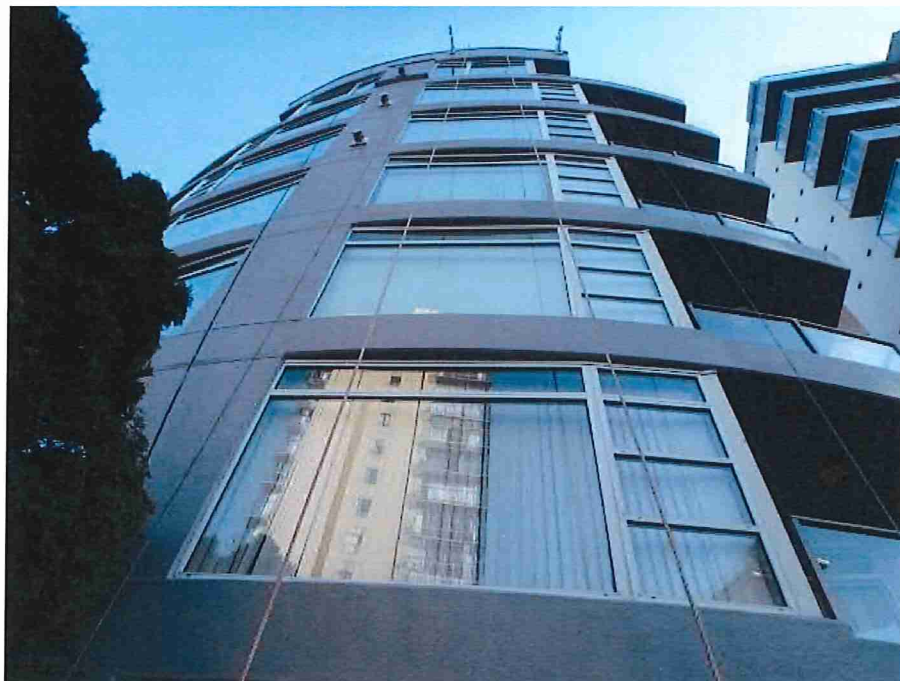


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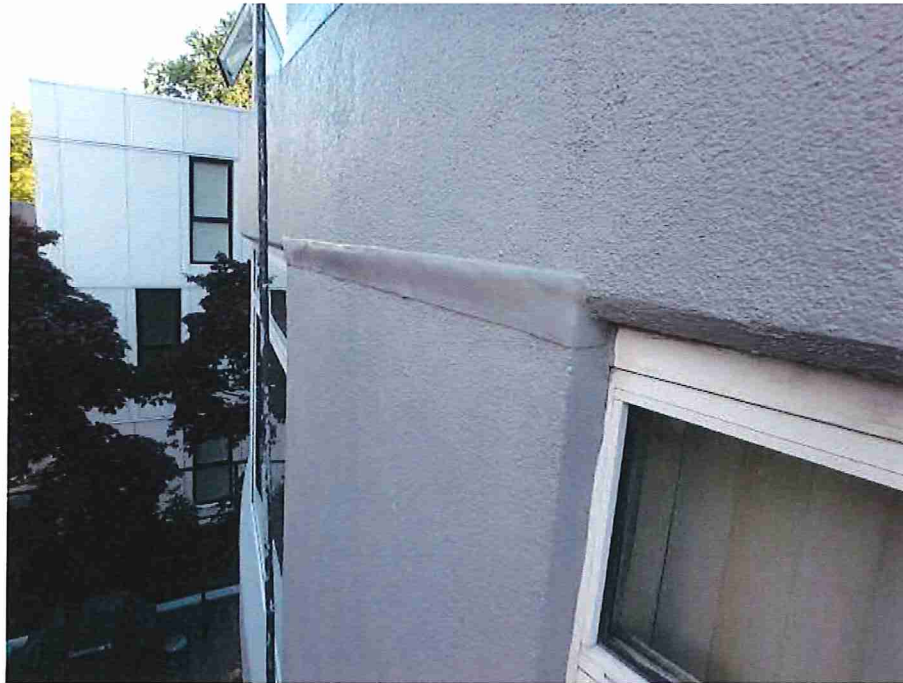
STRATA PLAN LMS 280 – CHATEAU COMOX
1272 COMOX STREET, VANCOUVER, B.C.
PHOTOGRAPHS TAKEN BY JOHN DRINKWATER, P.ENG.
ON AUGUST 15, 2019



Photos No. 10.1 and 10.2



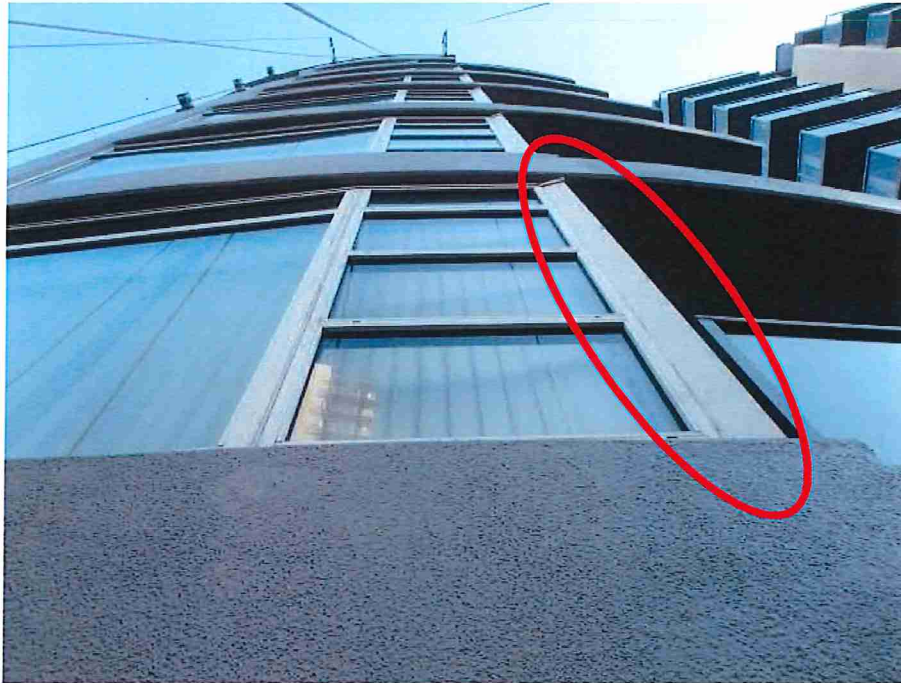
August 15, 2019



Photos No. 10.3 and 10.4



August 15, 2019



Photos No. 10.5 and 10.6



August 15, 2019



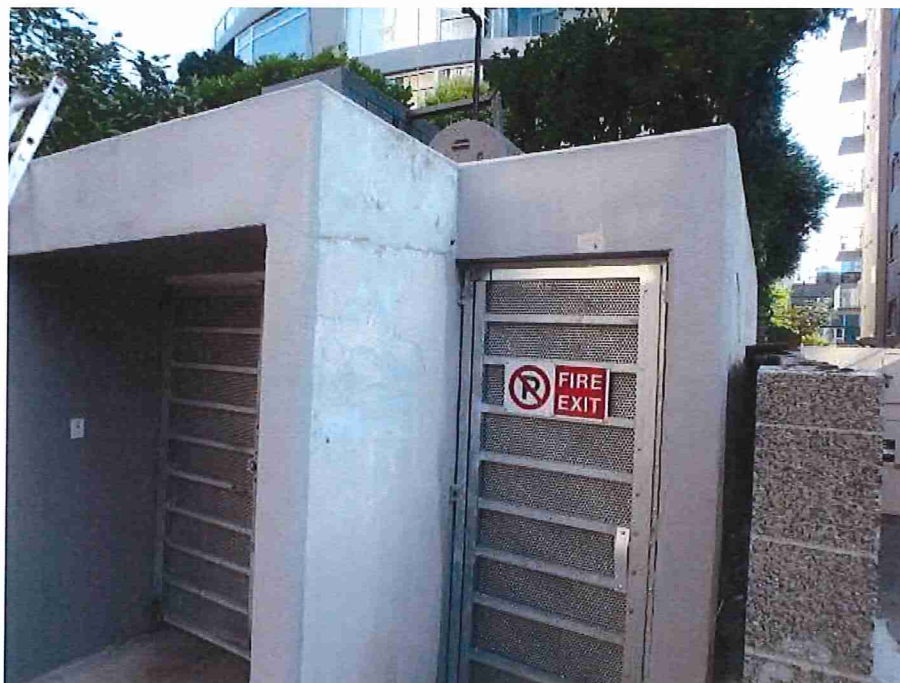
Photos No. 10.7 and 10.8



August 15, 2019



Photos No. 10.9 and 10.10



August 15, 2019



Photo No. 10.11