

OBSERVATION REPORT

Project: **Strata Plan LMS 280 - Chateau Comox**
1272 Comox Street
Vancouver, B.C.

File No: S18-558

Report No: 11

Date: Sep 11, 2019

Weather: Overcast,
17°C

Client: Strata Plan LMS 280 - Chateau Comox
c/o Southview Property Management
110 - 7580 River Road
Richmond, B.C. V6X 1X6

Attention: Mr. Kevin Green kevingreen@telus.net
Chateau Comox Strata Council chateaucomox@gmail.com
Mr. Chris Clark dcclark333@gmail.com
Mr. Don Davidson dondavidson67@yahoo.ca
Mr. Kevin Wice krw@krw.ca

Contractor: Spectrum Painting Ltd.

Attention: Mr. Adam Racanelli adam@spectrumpaintingltd.com
Mr. Sam Zukanovic sam@spectrumpaintingltd.com

ITEM: Building Envelope Field Review

Item	Comment	Action By	Date Cleared	Cleared By
11.1	John Drinkwater, P.Eng. of Spratt Emanuel Engineering Ltd. (SEE) attended the above noted development on September 11, 2019 to conduct a building envelope field review. The following are the observations of the writer while on site.			
11.2	Work is now complete on the south half of the east elevation with good workmanship observed. New caulking has been applied and tooled to a smooth finish between the replacement stucco and existing exposed concrete (Photos No. 11.1 to 11.3).			
11.3	Floor line reveals, not previously caulked on the stairwell barrel wall, typically result in leaks to the interior. SEE instructed Spectrum Painting to apply new polyurethane caulking to each point. Where accessible from the swing stage, work will be done from the current drop. The returning portions of each joint will be accessed via Bosun's chair and work will be completed at hourly rates (Photos No. 11.4 and 11.5).			

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11.4 Stucco repairs continue to be done as loose areas are identified. At the base level of the east exit stairs there is failed acrylic stucco finish which has been scraped. It appears the stairs were faired with interior drywall compound which is relatively soft and susceptible to future water damage. Given the concealed location and limited visibility, SEE instructed Spectrum Painting to not reinstate new stucco finish but rather blend the edges of the removed areas and repaint over (Photos No. 11.6 to 11.8).

11.5 At the next drop located on the east elevation at the north corner, repainting of some metal flashings where rusted is required as is repainting of stucco J-beads (Photos No. 11.9 and 11.10).

PREVIOUS ACTIONABLE ITEMS

Item	Comment	Action By	Date Cleared	Cleared By
1.5	Drop No. 1, Level 8: Rusted steel and minor concrete spalls were uncovered along the concrete overhang and drip edge at the balcony. All loose concrete must be chipped away to expose 1" clear around the steel. The exposed steel shall be cleaned to a bright metal finish with a grinder then protected with a high zinc solid primer such as Galvacon. The concrete profile shall be reinstated with an overhead patching mortar such as Mapei Planitop and once secured, the acrylic stucco finish shall be reapplied (Photos No. 1.7 to 1.9).	SP		
6.8	Drop No. 4: At the bottom of the barrel wall on the north face, there are three locations of exposed steel rebar of the concrete structure. At two locations on the wall face, SEE instructed the contractor to clean the steel to a bright metal finish, prime with a zinc rich primer then apply a patch of polyurethane sealant over and recoat with paint. The third spall located at the drip edge at the base of the barrel wall requires full concrete repair treatment. The concrete should be chipped away from the rusted steel to expose a minimum of 1" all sides. The steel should be cleaned to a bright finish and zinc rich primed, then new overhead concrete patching mortar shall be formed in place. Once secured, the concrete patch can be primed, new acrylic stucco finish laid overtop, and painted to match the walls (Photos No. 6.13 and 6.14).	SP	09/11/2019	JD
7.5	Drop No. 5, Level 4: Spalled concrete and rusted steel reinforcement on the balcony parapet require repair by chipping and patching (Photo No. 7.7).	SP	09/11/2019	JD

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7.6 Drop No. 5, Level 5: There are two instances of rusted reinforcing steel on the west face of the balcony. The steel reinforcement on the parapet upstand must be exposed with 1" clear space all around by chipping to remove the surrounding concrete. Concrete patching mortar followed by reapplication of new acrylic stucco finish shall follow. At the balcony soffit, the spalling due to rebar ends shall be repaired by patching, applying new acrylic finish, and repainting (Photos No. 7.8 to 7.10). SP 09/11/2019 JD

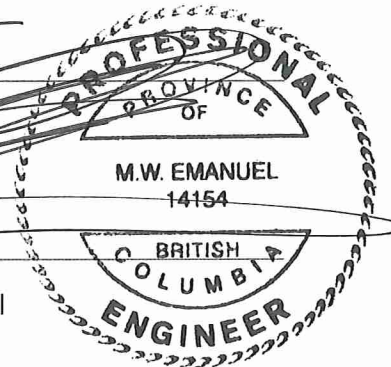
10.5 At Suite No. 702, acrylic stucco patching is required on the interior face and top horizontal surface of the balcony parapet (Photos No. 10.6 and 10.7). SP 09/11/2019 JD

OBSERVER:

John Drinkwater, P.Eng.

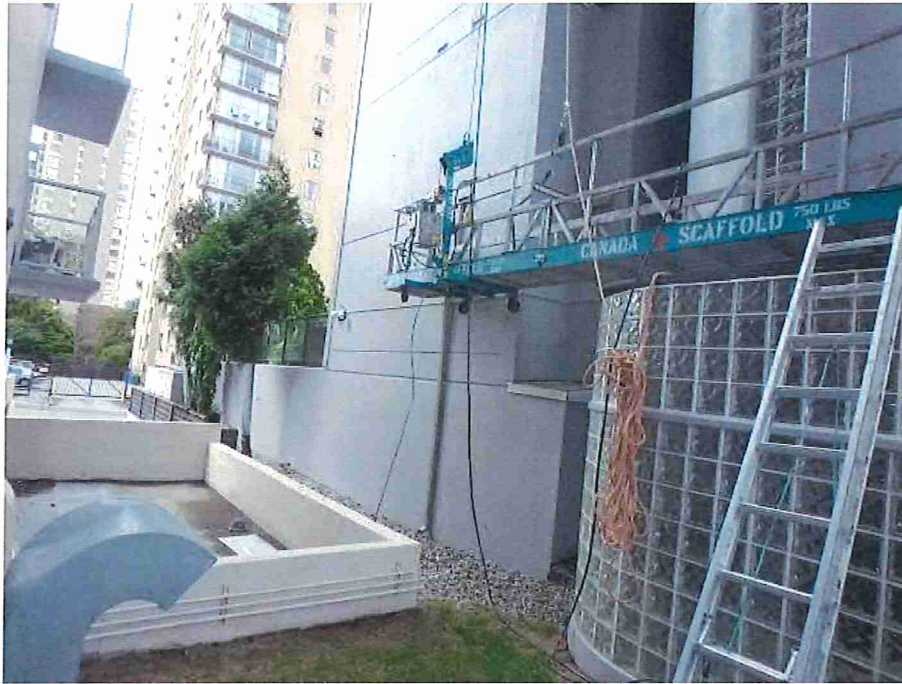
REVIEWER:

Mark W. Emanuel, P.Eng., Principal



JD / ch

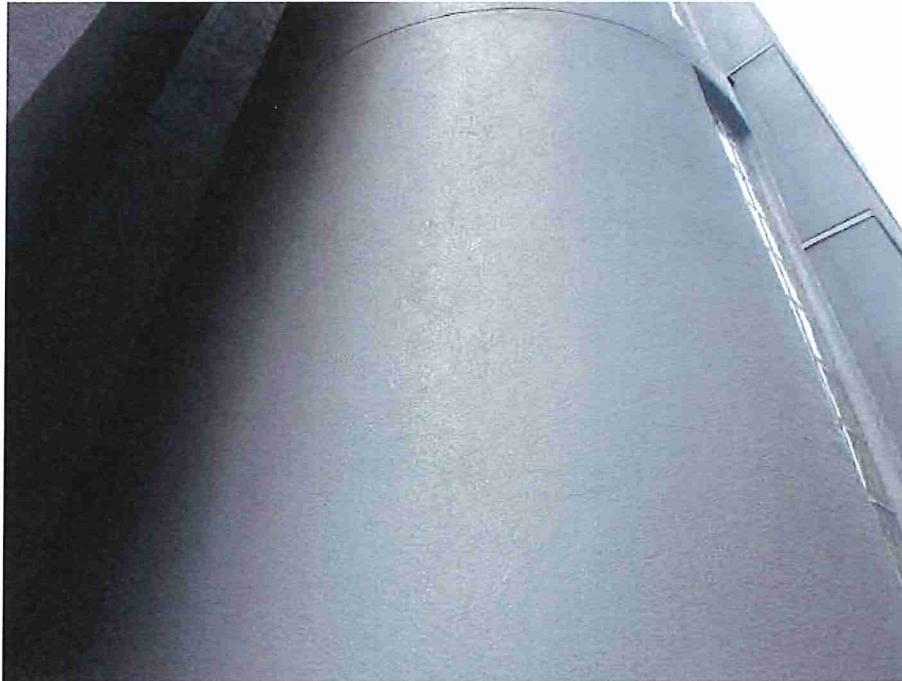
STRATA PLAN LMS 280 – CHATEAU COMOX
1272 COMOX STREET, VANCOUVER, B.C.
PHOTOGRAPHS TAKEN BY JOHN DRINKWATER, P.ENG.
ON SEPTEMBER 11, 2019



Photos No. 11.1 and 11.2



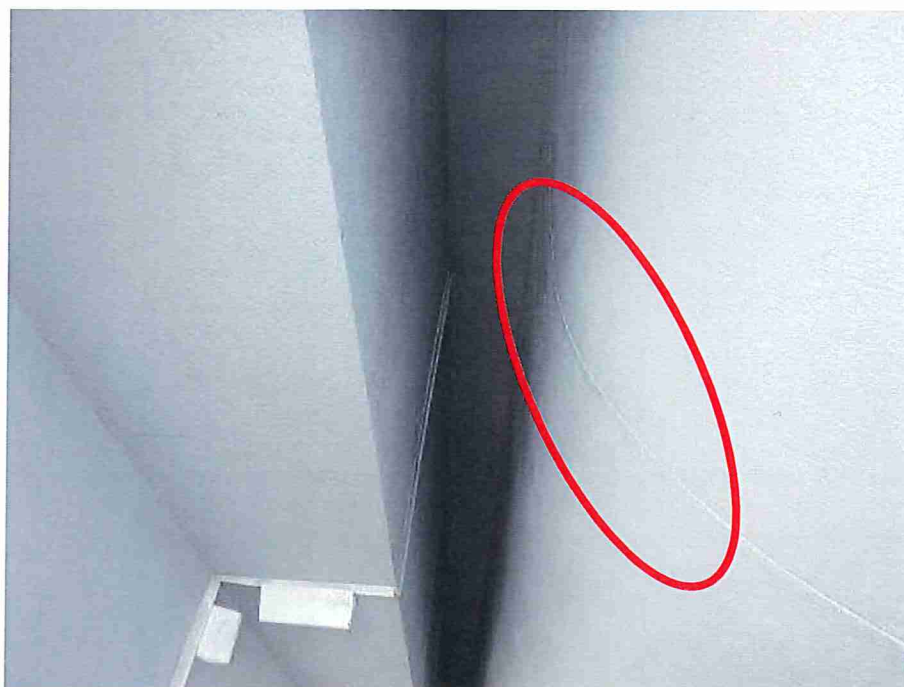
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Photos No. 11.3 and 11.4



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Photos No. 11.5 and 11.6



September 11, 2019



Photos No. 11.7 and 11.8



September 11, 2019



Photos No. 11.9 and 11.10

